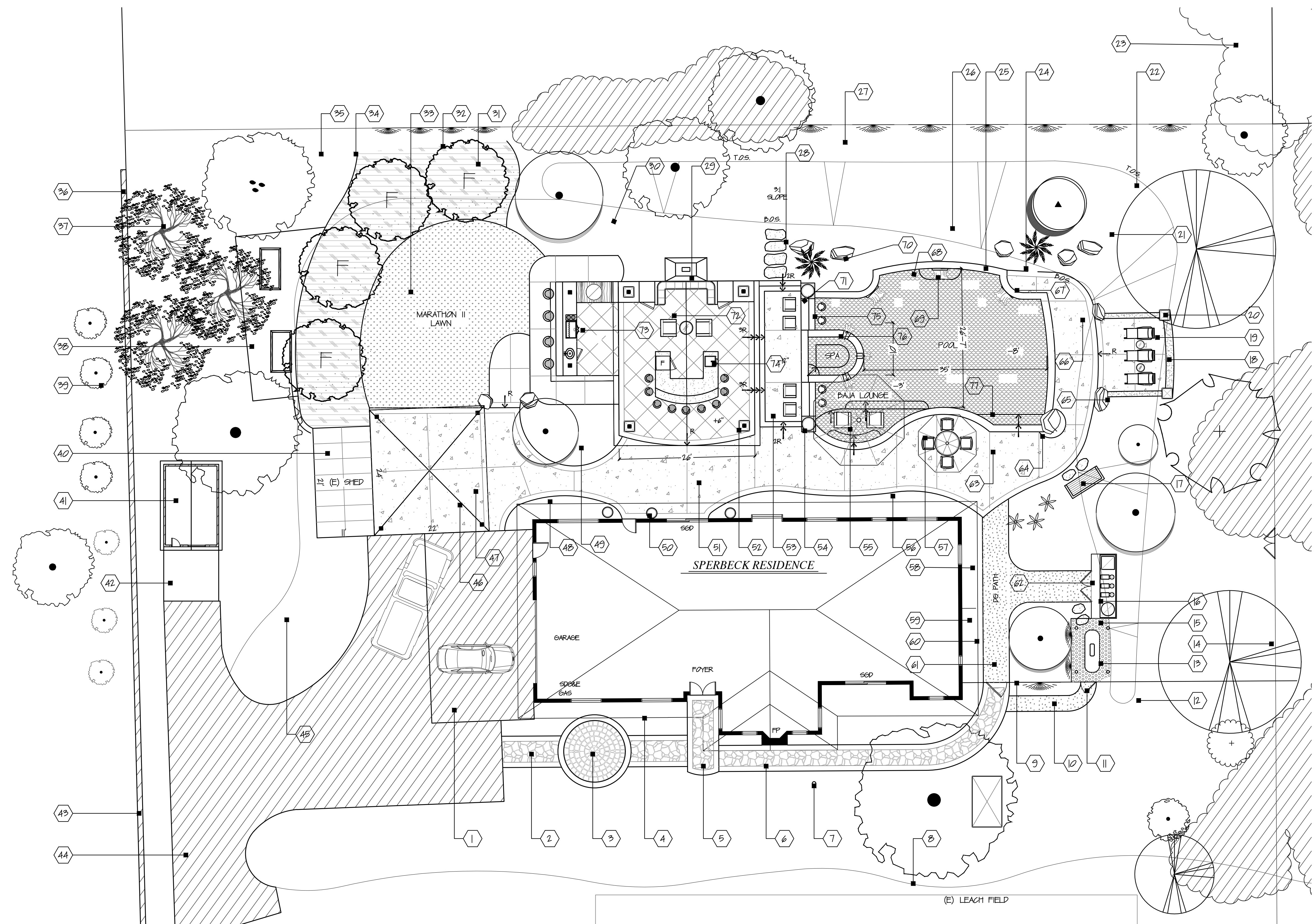


LANDSCAPE MASTER PLAN NOTES

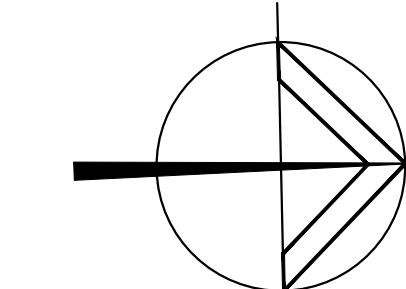
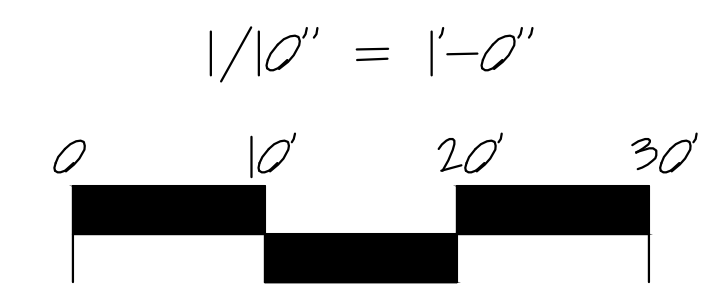
- 1) EXISTING DRIVEWAY TO REMAIN TYPICAL.
- 2) CONSTRUCT NEW DELBEARD PRECAST PAVEMENT WALKWAY WITH BORDERS. OWNER TO SPECIFY TYPE & COLOR. REFER TO L5.0 FOR SPECIFICATION.
- 3) INSTALL DELBEARD CONCENTRIC CIRCLE KIT PER MANUFACTURER SPECIFICATIONS COLOR & TYPE TO MATCH MEGA-ARDEL SCHEME. REFER TO L5.0 FOR SPECIFICATION.
- 4) EXISTING ROOF EAVE OF HOME. TYPICAL.
- 5) CONSTRUCT NEW DELBEARD PRECAST PAVEMENT ENTRY WALK WITH BORDER SLOPING AWAY FROM HOME FOR PROPER DISTANCE PER CODE. (5' @ 2% MIN) TYPE & COLOR TO MATCH OWNER SPECIFICATION FOR ALL FRONT YARD WALKWAYS. REFER TO L5.0 FOR SPECIFICATION.
- 6) CONSTRUCT NEW DELBEARD PRECAST PAVEMENT WALKWAY WITH BORDER ALONG FRONT OF HOUSE, WRAPPING TO SIDE YARD ENTRY. TYPE & COLOR TO MATCH OTHER FRONT YARD HARDSCAPE. REFER TO L5.0 FOR SPECIFICATION.
- 7) EXISTING FLAG POLE TO REMAIN.
- 8) EXISTING TOP OF SLOPE FOR FRONT YARD. TERRAIN SLOPES AWAY FROM HOME WITH NATURAL DRAINAGE.
- 9) INSTALL NEW FENCE & GATE PER PLAN. REFER TO L9.0 FOR SPECIFICATIONS.
- 10) CONSTRUCT NEW DO PATHWAY FOR PROPANE TANK ACCESS. SEE L5.0 FOR TYPE & COLOR. SEE L9.0 FOR CONSTRUCTION SPECIFICATIONS.
- 11) INSTALL ACCESS GATE FOR PROPANE TANK PAD AREA. SEE L9.0 FOR SPECIFICATIONS.
- 12) EXISTING SLOPE ALONG SIDE YARD.
- 13) RELOCATED PROPANE TANK. TANK RELOCATED BY LICENSED PROFESSIONAL & PER CODE.
- 14) EXISTING FENCE ALONG SIDE OF PROPERTY TO REMAIN. FIX & REPAIR AS NEEDED.
- 15) CONSTRUCT GRAVEL PAD FOR PROPANE TANK. SEE L5.0 FOR MATERIAL SPECIFICATIONS.
- 16) INSTALL NEW POOL EQUIPMENT PACKAGE. SEE L9.0 FOR EQUIPMENT SPECIFICATIONS. ALL EQUIPMENT TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS & PER CODE.
- 17) INSTALL DECORATIVE BENCH & STEP PADS. SEE L5.0 FOR SPECIFICATIONS.
- 18) CONSTRUCT FINISH WALL FOR RAISED LOUNGING PATIO. SEE L5.0 FOR WALL HEIGHTS. SEE L5.0 FOR MATERIALS SPECIFICATIONS & L9.0 FOR CONSTRUCTION SPECIFICATIONS. PATIO FURNITURE PROVIDED BY OWNER.
- 19) CONSTRUCT MEDIUM GRAY CONCRETE LOUNGING PATIO WITH ACID WASHED & SCORED PER PLAN. CONSTRUCT PER SPECIFICATIONS ON L9.0.
- 20) CONSTRUCT COLUMNS PER SPECIFICATIONS ON L9.0. SEE ENLARGEMENT PLAN FOR DETAILS & DIMENSIONS.
- 21) EXISTING SLOPE WRAPPING AROUND SIDE & REAR YARD.
- 22) TOP OF SLOPE FOR EXISTING BACK YARD SLOPE.
- 23) EXISTING OFF-SITE VEGETATION.
- 24) INSTALL TRACTOR SET BOLDERS PER SPECIFICATIONS ON L9.0. SEE L5.0 FOR MATERIALS SPECIFICATIONS.
- 25) CONSTRUCT RAISED BOND BEAM FOR POOL. SEE L5.0 FOR MATERIALS SPECIFICATIONS.
- 26) TOE OF EXISTING SLOPE TAPERS AWAY FROM POOL EDGE.
- 27) SEE L6.0 FOR UPPER SLOPE SCREEN PLANTINGS.
- 28) INSTALL STEP STONES SET INTO GROUND FOR ACCESS TO LOWER SLOPE AREA. SEE L5.0 FOR MATERIALS & L9.0 FOR SPECIFICATIONS.
- 29) CONSTRUCT FIRE PLACE & SEATING AREA BENCHES PER PLAN ENLARGEMENT & SPECIFICATIONS ON L9.0 & L9.1.
- 30) LOWER PLANTING AREA. SEE L6.0 FOR SLOPE SOFTENING PLANTING LOCATIONS.
- 31) INSTALL DARK MULCH AT MINIMUM OF 3" DEPTH OVER ALL FRUIT TREE PLANTING BED AREAS. SEE L5.0 FOR MATERIAL SPECIFICATIONS.
- 32) PLANT FRUIT TREES PER PLANTINGS ON L6.1. SEE L6.0 FOR SPECIES TYPICAL.
- 33) CONSTRUCT NEW LAWN AREA PER PLAN. SEE L5.0 FOR MATERIAL SPECIFICATIONS.
- 34) INSTALL EDGING BENDER BOARD PER SPECIFICATIONS ON L9.0. TYPICAL.
- 35) SEE L6.0 FOR REAR PROPERTY PLANT SCREENINGS.
- 36) EXISTING RETAINING WALL TO REMAIN TYPICAL.
- 37) REFER TO PLANTING LEGEND ON L6.0 FOR ALL SPECIMEN TREE TYPES & SIZES. TYPICAL.
- 38) CONSTRUCT NEW GARDENING AREA WITH PLANTER BOXES. SEE L9.0 FOR GARDEN BOX SPECIFICATIONS. BOXES TO BE PLANTED BY OWNER. TYPICAL.
- 39) EXISTING OFF-SITE VEGETATION TO REMAIN.
- 40) EXISTING SHED TO REMAIN.
- 41) EXISTING WORKSHOP/OUT BUILDING TO REMAIN.
- 42) EXISTING CONCRETE APRON FOR SHOP TO REMAIN.
- 43) RETAINING WALL RUNS ALONG EXISTING PROPERTY. DO NOT DISTURB.
- 44) EXISTING ASPHALT CONCRETE DRIVEWAY RUNNING BACK TO PROPERTY DRIVEWAY & ACCESS. DRIVE SLOPES DOWN HILL TOWARD ROAD.
- 45) EXISTING PLANTING AREA TO BE RENOVATED BY NEW DECORATIVE PLANTINGS. SEE L6.0 FOR TYPE, SIZE, & LOCATION.
- 46) CONSTRUCT (A) POST SHADE STRUCTURE FOR ADDITIONAL PARKING. SEE L9.0 FOR SPECIFICATIONS.
- 47) CONSTRUCT CONCRETE DRIVEWAY PAD TO OVERFLOW PARKING.
- 48) CONSTRUCT NEW FREE FORM PLANTER ALONG HOME. TYPICAL.
- 49) CONSTRUCT PLANTING AREA FOR LOW-RISE DECORATIVE PLANTINGS. SEE L6.0 FOR TYPE, SIZE & LOCATION.
- 50) DECORATIVE URNS TO BE PLANTED BY OWNER. OWNER TO PROVIDE URNS.
- 51) CONSTRUCT NEW FREE FORM CONCRETE WALKWAY ALONG BACK OF HOUSE. COLOR & FINISH TO BE SPECIFIED BY OWNER. SEE L5.0 FOR MATERIALS SPECIFICATIONS.
- 52) CONSTRUCT PAVILION WITH SUPPORT COLUMNS PER PLAN REFER TO ENLARGEMENT PLAN FOR DETAILS & DIMENSIONS. SEE L9.0 FOR CONSTRUCTION SPECIFICATIONS.
- 53) POOL FURNITURE & PATIO FURNITURE TO BE PROVIDED BY OWNER. TYPICAL.
- 54) CONSTRUCT COLUMN WITH URN FOR INDICATED CORNER OF POOL. SEE L9.0 FOR SPECIFICATIONS.
- 55) CONSTRUCT BALA LEDGE FOR POOL LOUNGING. UMBRELLA & SEATING TO BE PROVIDED BY OWNER.
- 56) CONSTRUCT FREE FORM PLANTING AREA ALONG HOME. REFER TO L6.0 FOR PLANTING INFORMATION & L6.1 FOR SOIL AMENDMENTS SPECIFICATIONS.
- 57) TABLE WITH CHAIRS & UMBRELLA PROVIDED BY OWNER.
- 58) CONSTRUCT PLANTERS WITH DRAINAGE ALONG SIDE OF HOME. SEE SOIL AMENDMENTS SPECIFICATIONS ON L6.1. SEE L9.0 FOR NEW DRAIN LOCATIONS. TYPICAL.
- 59) INSTALL NEW ELECTRICAL OUTLETS AS NEEDED PER L4.0. INSTALL PER CODE & BY LICENSED CA ELECTRICIAN. TYPICAL.
- 60) EXTENT OF EXISTING EAVE OVERHANGS. TYPICAL.
- 61) CONSTRUCT DO PATH ALONG SIDE OF HOME & CONNECTING TO POOL EQUIPMENT ACCESS ENCLOSURE. SEE L5.0 FOR MATERIALS SPECIFICATIONS & L9.0 FOR CONSTRUCTION SPECIFICATIONS.
- 62) INSTALL FENCE & GATE SYSTEM FOR POOL EQUIPMENT ENCLOSURE/SCREENING. SEE L9.0 FOR SPECIFICATIONS.
- 63) CONSTRUCT CONCRETE & HARDSCAPE WITH DIRECTIONAL FLOW ACCORDING TO DRAINAGE PLAN ON L9.0. WATER IS DIRECTED AWAY FROM HOME & AWAY FROM WATER BODY. TYPICAL.
- 64) CONSTRUCT PLANTERS WITH BOLDERS AT SPECIFIED LOCATIONS FOR POOL CORNERS. REFER TO L5.0 FOR IRRIGATION SPECIFICS.
- 65) INSTALL TRACTOR SET BOLDERS FOR RAISED PATIO RETAINING WALL FOR CORNERS. SEE L5.0 FOR MATERIALS & L9.0 FOR CONSTRUCTION SPECIFICATIONS.
- 66) CONSTRUCT CONCRETE WALKWAY FOR JUMP PAD ACCESS. REFER TO L5.0 FOR MATERIALS SPECIFICATIONS.
- 67) CONSTRUCT RAISED JUMP PAD WITH BOLLARD RETENTION ALONG SLOPE. REFER TO L9.0 FOR ELEVATION INFORMATION.
- 68) CONSTRUCT POOL ENTRY EXIT STEPS OR SEATING PEDESTALS PER PLAN.
- 69) INSTALL (9) SHEER PERCENT WATER FALLS IN POOL BOND BEAM.
- 70) INSTALL TRACTOR SET BOLDERS SET INTO SLOPE. SEE L5.0 FOR MATERIALS SPECIFICATIONS.
- 71) CONSTRUCT POOL BAR FOR IN-POOL/OUT-OF-POOL INTERACTION.
- 72) CONSTRUCT PAD FOR PAVILION PER CODE. SEE L5.0 FOR FINISHES.
- 73) CONSTRUCT OUTDOOR KITCHEN PER ENLARGEMENT PLAN & SPECIFICATIONS ON L9.0 & L9.1.
- 74) CONSTRUCT OUTDOOR BAR PER DETAILS & SCHEMATIC ELEVATIONS. SEE L9.0 & L9.1 FOR SPECIFICATIONS.
- 75) CONSTRUCT BUILT-IN SEATING FOR POOL BAR. TYPICAL.
- 76) CONSTRUCT SPA WITH (9) SEPARATE WATER FALLS FLOWING INTO POOL BASIN.
- 77) CONSTRUCT MAIN ENTRY & EXIT FOR POOL ACCESS.



NOTE TO CONTRACTOR
 THIS PLAN IS DIAGNOSTIC ONLY. THE INTENT IS TO PORTRAY LANDSCAPE INFORMATION ONLY. THESE PLANS DO NOT PROVIDE DETAILED SOLUTIONS TO ALL LANDSCAPE RELATED PROBLEMS.
 THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED ABOVE BY THE LANDSCAPE ARCHITECT, AND APPROVED BY THE OWNER, AND BEAR THE LOCAL BUILDING AND PLANNING DEPARTMENT APPROVAL STAMP AND A RAINING PERMIT HAS BEEN OBTAINED.
 MINOR ADJUSTMENTS IN LAYOUT OR FINISH ELEVATIONS MAY OCCUR DUE TO FIELD CONDITIONS OR AT THE DISCRETION OF THE OWNER. THE CONTRACTOR IS TO BEAR ALL RESPONSIBILITY FOR OBTAINING ALL PERMITS AND PLAN APPROVALS THROUGH THE PERTINENT BUILDING DEPARTMENTS PRIOR TO CONSTRUCTION.
 REPORT ANY DISCREPANCIES OR QUESTIONS TO THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION. OWNER'S LANDSCAPE ARCHITECT R/LA 198 MAY BE REACHED AT (661) 991-1111.



NOT FOR CONSTRUCTION
LANDSCAPE MASTER PLAN
 BID SET ONLY



LANDSCAPE MASTER PLAN

PROJECT NAME: _____ PHONE: _____

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DRAWN	NM
DRAFTER	AP
DATE	01/02/2020
SCALE	1/10" = 1'
JOB NAME	SPERBECK
SHEET	1

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