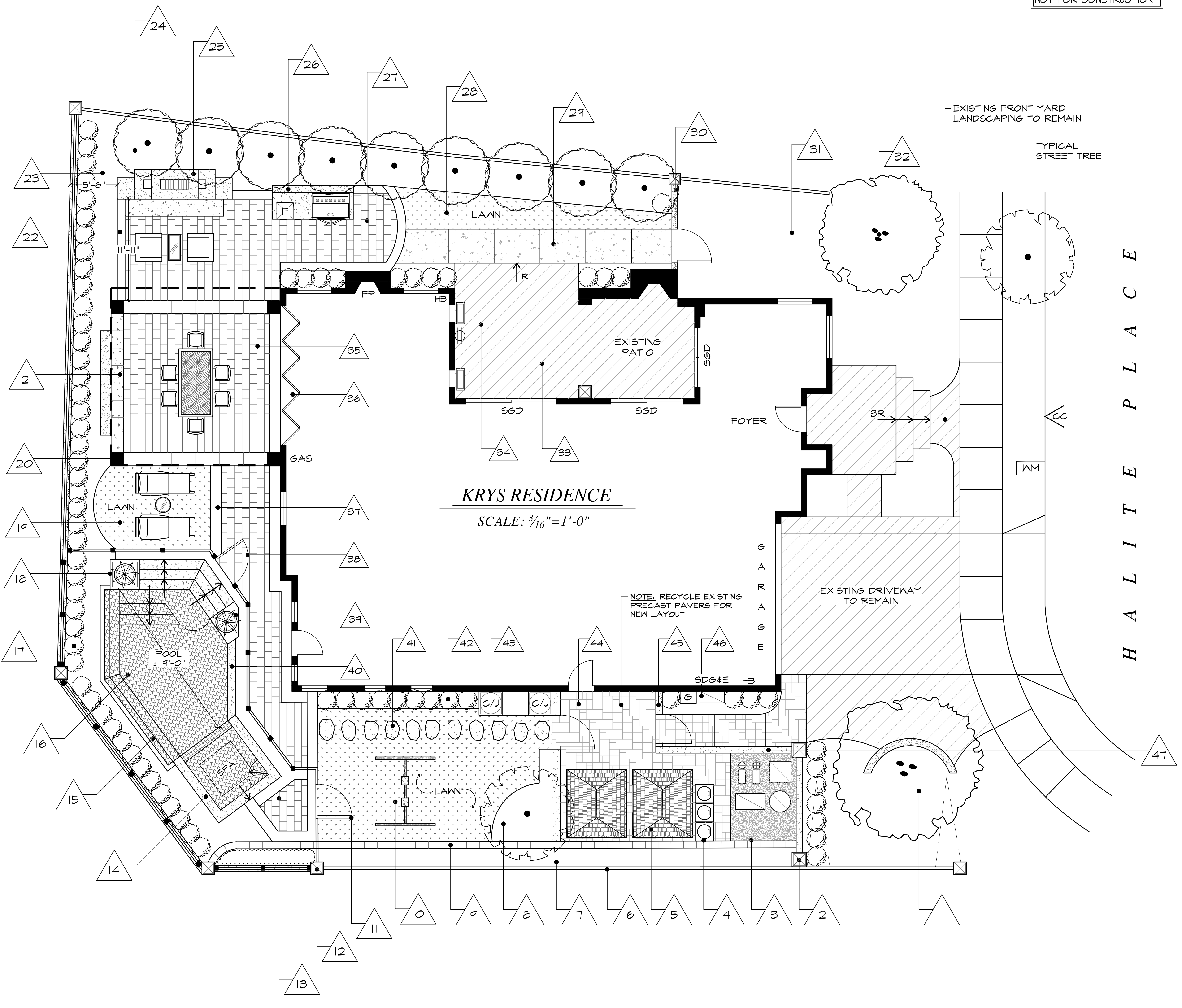


**LANDSCAPE MASTER PLAN NOTES**

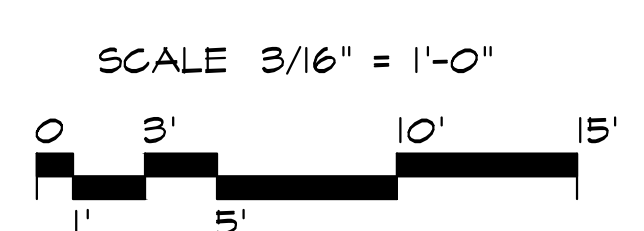
- 1) EXISTING FRONT YARD LANDSCAPING TO REMAIN. PROTECT EXISTING TREES, SHRUBS AND PAVERS DURING CONSTRUCTION. NOTE, THERE WILL BE DEMOLITION IN THE SIDE YARD. THIS SIDE YARD WILL SERVE AS THE MAIN CONSTRUCTION ROUTE FOR POOL AND LANDSCAPE WORK.
- 2) CONSTRUCT NEW 6 FT. HEIGHT CMU FREESTANDING WALL WITH 2-16 INCH WIDE CMU COLUMNS AT 4 INCH HEIGHT ABOVE THE FINISH GRADE OF PRIVACY WALL. THIS WALL WILL STEP UP WITH GRADE APPROXIMATELY 22 INCHES. REFER TO DRAINAGE PLAN FOR ADDITIONAL INFORMATION REGARDING ELEVATIONS. REFER TO WALL DETAIL FOR CONSTRUCTION SPECIFICATIONS.
- 3) POOL EQUIPMENT AREA TO MAINTAIN 4 FT. SETBACK FROM PROPERTY LINE. PLACE 3/8 INCH DIAMETER PEA GRAVEL AT 3 INCH DEPTH AS A MULCH MATERIAL. CONNECT TO UTILITIES FOR GAS AND ELECTRIC SERVICE.
- 4) PRECAST PAVER WALK WILL ALLOW FOR TRASH AND RECYCLING CONTAINERS.
- 5) TWO EXISTING STORAGE SHEDS WILL BE RELOCATED TO FIT INTO THIS AREA. CONTRACTOR TO PROVIDE ESTIMATE FOR ALL WORK REQUIRED. BID LABOR ONLY.
- 6) EXISTING FENCE ON PROPERTY LINE TO REMAIN. DO NOT BID.
- 7) CONSTRUCT NEW CMU WALL AT 5 FT. HEIGHT WITH ARCHED MOOD GATE PER DETAILS. ALLOW FOR AIR GAP OF 1 INCH SEPARATION IN-BETWEEN FENCE AND WALL. DO NOT CONNECT.
- 8) PLANTING BED WITH SPECIMEN TREE AND IRRIGATION - LIGHTING SERVICE PER PLANS. INSTALL STAKED 2 X 4 INCH TREX COMPOSITE HEADER FOR DEFINING THE BEDS.
- 9) EXISTING MODULAR RETAINING WALL TO REMAIN. SAVE EXISTING PLANTS BEHIND THE WALL.
- 10) PLAY AREA WITH SYNTHETIC TURF LAWN AREA. BID NATURAL TURF AS AN ALTERNATIVE. GRADE TO BE LEVEL FOR PLAY EQUIPMENT. OWNER TO PROVIDE EQUIPMENT. BID INSTALL ONLY.
- 11) CHILD PROOF TEMPORARY GATE WITH SELF LATCHING AND LOCKING MECHANISM.
- 12) EXISTING SLUMP BLOCK COLUMN WITH LOW WALL AND FENCE TO BE MODIFIED. CONSTRUCT NEW SLUMP BLOCK WALL AT APPROX. 2 FT. HEIGHT WITH 3 FT. 2 INCH HEIGHT TEMPERED GLASS FENCING PANELS SET INTO WALL WITH STEEL POSTS PAINTED BLACK. REFER TO GLASS WALL DETAILS FOR FURTHER INFORMATION.
- 13) NEW PATIO WITH EITHER PRECAST PAVERS OR PORCELAIN TILE WILL ALLOW FOR CONNECTION TO POOL SPA AREA.
- 14) 18 INCH HEIGHT ELEVATED SUNNITE CUSTOM SPA WITH COLORED CONCRETE CANTILEVERED COPINGS. OWNER TO APPROVE ALL JET LOCATIONS TYPE AND NUMBER WITH POOL COMPANY OF RECORD.
- 15) VANISHING EDGE POOL WITH GROUND LEVEL SUMP. INCLUDE TILE VENEER TREATMENT FOR THE V.E DAM WALL. OWNER TO APPROVE ALL TILE AND INTERIOR POOL AND SPA FINISH IN ADVANCE OF CONSTRUCTION.
- 16) POOL AND SPA COMBINATION WITH CONCRETE CANTILEVERED COPINGS AND ACID WASHED FINISH. BID SAN DIEGO BUFF INTEGRAL COLOR. INCLUDE STEPS INTO POOL WITH PLATFORM FOR SITTING.
- 17) TRANSPLANT EXISTING BOXWOOD SHRUBS AFTER POOL CONSTRUCTION PHASE. DIG UP ALL BOXWOOD SHRUBS AND STORE THEM ON SITE. KEEP THEM WATERED UNTIL TRANSPLANTING. REFER TO PLANTING AND IRRIGATION PLANS. NOTE: REMOVE ORNAMENTAL IRON FENCING ON TOP OF THE EXISTING SLUMP BLOCK WALL AND INSTALL NEW TEMPERED GLASS FENCING PANELS SET INTO CORE DRILLED WALL WITH CONCRETE GROUT.
- 18) TYPICAL MASONRY COLUMNS TO BE CONSTRUCTED BY THE POOL COMPANY AND INTEGRATED INTO THE BOND BEAM. INCLUDE CASTE IN PLACE COLORED CONCRETE CANTILEVERED BULL NOSED CAPS FOR BOTH COLUMNS WITH A STRAIGHT EDGE BULLNOSE PROFILE. INCLUDE A CERAMIC TILE MOSAIC VENEER FOR ALL SIDES OF BOTH COLUMNS. OWNER TO SELECT TILE UNDER A SEPARATE POOL CONTRACT. INCLUDE LED LIGHTING FIXTURES UNDERNEATH THE COLUMN CAPS. UTILIZE UNIQUE LIGHTING FIXTURES AND TRANSFORMERS WHICH ARE RATED FOR POOL CONSTRUCTION AND CAN BE INSTALLED WITHIN THE 10 STANDARD SETBACK FROM MATERS EDGE. REFER TO THE LIGHTING PLAN.
- 19) INSTALL NATURAL TURF LAWN AREA WITH STAKED 2 X 4 INCH COMPOSITE HEADER.
- 20) CUSTOM ONE STORY BALCONY DECK WITH 4 SUPPORT COLUMNS. THIS PROJECT IS UNDER A SEPARATE CONTRACT WITH ARCHITECT TAYLOR JONES AVAILABLE @ 858-519-2593. THIS IS WILL REQUIRE A SEPARATE SUBMITTAL TO THE A/R/C AND BUILDING DEPT.
- 21) SEAT WALL AT 18 INCH HEIGHT WITH CASTE IN PLACE COLORED CONCRETE CAP. THIS WALL MAY INCLUDE AN OPTIONAL BACKREST. REFER TO MASONRY BENCH DETAILS FOR FURTHER INFORMATION.
- 22) PRECAST PAVER PATIOS WITH BORDERS. THE OWNER MAY DECIDE TO USE PORCELAIN TILE PAVERS WITH BORDERS INSTEAD. BID BOTH WAYS FOR A COST COMPARISON. PRECAST PAVERS WILL BE SET ONTO A CAB BASE PER MANUFACTURER'S SPECIFICATIONS. MIRAGE BELGARD PORCELAIN TILE PAVERS CAN BE INSTALLED THE SAME AS PRECAST CONCRETE PAVERS WITH MINOR DIFFERENCES. THIN SAUCE PORCELAIN TILE WILL REQUIRE A CONCRETE SLAB WITH THIN SET MORTAR BED. FINAL DECISIONS ARE PENDING. REFER TO DRAINAGE PLAN FOR ALL DRAINAGE AND UNDERGROUND INFORMATION INCLUDING GAS AND ELECTRICAL CONDUIT APPROXIMATE LOCATIONS. PROVIDE POSITIVE DRAINAGE TO ALL AREA DRAINS.
- 23) CUSTOM MASONRY FIREPLACE WITH 5 FT. MINIMUM SETBACK FROM PROPERTY LINES AND 10 FT. MINIMUM SETBACK FOR THE BALCONY DECK. INCLUDE GAS LINE AND CONNECTION PER CITY OF CARLSBAD. REFER TO FIREPLACE DETAILS FOR FURTHER INFORMATION. THIS FIRE PLACE WILL INCLUDE ELDERADO STONE ARCHITECTURAL VENEER AND SANTA BARBARA SMOOTH STUCCO FINISH. INSTALL APPROVED FIRE BRICK FOR THE INTERIOR OF THE FIRE BOX. INCLUDE SPARK ARRESTOR AT TOP OF CHIMNEY.
- 24) PLANTING BED BEHIND FIREPLACE. SAVE EXISTING HEDGE ROW OF PITTOSPORUM SHRUBS.
- 25) EXISTING FENCE TO REMAIN. CUSTOM MASONRY FIREPLACE WITH GAS CONNECTION PER CODE. MAINTAIN MINIMUM 5 FT SETBACK FROM PROPERTY LINE. OWNER TO BE CASTE IN PLACE COLORED CONCRETE WITH BULL NOSED EDGE. OWNER TO PURCHASE ALL APPLIANCES. BID INSTALLATION ONLY. REFER TO DETAILS AND SPECIFICATIONS.
- 26) RAISED SPLASH INTEGRATED WITH BBQ STRUCTURE. REFER TO ELEVATION DRAWINGS.
- 27) NEW PATIO AREA PER CONTRACT. BID BELGARD MIRAGE 'AFRICAN STONE' PORCELAIN PAVERS, 24" X 24" X 3/4" ON CAB.
- 28) PLANT NEW TURF LAWN AREA IF THE EXISTING LAWN CANNOT BE SAVED DURING CONSTRUCTION PHASE. INCLUDE IRRIGATION AND SOIL PREPARATION.
- 29) CONSTRUCT NEW 4 FT. WIDE CONCRETE SIDEWALK WITH CONTROL JOINTS LEADING TO SIDE YARD PATIO AND EXISTING COVERED PATIO AT THE SIDE OF THE HOME.
- 30) CONSTRUCT NEW 6 FT. HEIGHT CMU WALL WITH ELDERADO STONE VENEER ON BOTH SIDES. CARPENTER TO CONSTRUCT NEW CUSTOM ARCHED GATE WITH SPRING LATCH AND SELF LOCKING MECHANISM FOR THE POOL CODE REQUIREMENT. PAINT TO MATCH HOUSE TRIM PER C.G.R.S. REFER TO GATE DETAILS FOR FURTHER INFORMATION.
- 31) EXISTING FRONT YARD LANDSCAPING TO BE SAVED. THERE ARE NO CHANGES PLANNED. CONTRACTOR TO INCLUDE A T&M AGREEMENT FOR ANY REPAIRS AND OR RESTORATION THAT MAY BE REQUIRED AFTER CONSTRUCTION PHASE FOR EXISTING LAWN AREA ETC.
- 32) EXISTING TREES AND PLANTS IN THE FRONT YARD TO REMAIN. DO NOT BID.
- 33) EXISTING PRECAST PAVER PATIO WITH STEP TO REMAIN.
- 34) EXISTING PLANTERS TO REMAIN. REFER TO LIGHTING PLAN. CONTRACTOR TO INSTALL EDISON LIGHTS SUSPENDED OVER THE SEMI OPEN PATIO AREA AND CONNECTED TO THE HOME FROM ABOVE. INSPECT THIS CONDITION PRIOR TO SUBMITTING BIDS FOR LIGHTING SYSTEMS.
- 35) NEW TILE PAVER PATIO WITH BORDERS. THIS PATIO WILL BE COVERED BY A ONE STORY BALCONY DECK DESIGNED UNDER A SEPARATE CONTRACT BY THE ARCHITECT. BID BELGARD PORCELAIN TILE MIRAGE SERIES 'SPIRIT'. INSTALLED ON CAB (12" X 48" X 3/4").
- 36) OWNER TO SUBCONTRACT FOLDING POCKET DOORS. REMOVE EXISTING SLIDING GLASS DOOR AND MODIFY WALL, PER ARCHITECTURAL PLANS. THIS WILL REQUIRE A STRUCTURAL ENGINEERING REVIEW AND REPORT.
- 37) NEW PATIO WALK.
- 38) CHILD PROOF GATE WITH SELF LATCHING AND LOCKING MECHANISM. INSTALL MINIMUM 12 INCHES AWAY FROM THE BOTTOM OF RAISED STEPS LEADING INTO THE POOL. FENCING CONNECTING TO GATES WILL BE 42 INCH HEIGHT TEMPERED GLASS WITH NO TOP RAIL.
- 39) CUSTOM MASONRY COLUMNS AND STEPS ARE INTEGRATED AND PART OF THE POOL CONSTRUCTION PROJECT UNDER A C&S LICENSE. REFER TO LIGHTING PLAN FOR STEP AND COLUMN LED LIGHTING FIXTURES. CONSTRUCT 3-6 INCH HEIGHT STEPS LEADING UP TO ELEVATED POOL.
- 40) 18 INCH HEIGHT RAISED POOL BOND BEAM.
- 41) FLAGSTONE STEPPING STONES ARE SET INTO THE NEW TURF AREA. FLUSH WITH FINISH GRADE.
- 42) SAVE EXISTING BOXWOOD HEDGINGS SHRUBS. INSTALL NEW 2X4 INCH TREX OR EQUAL COMPOSITE HEADER. SET IN 3 INCHES OF SHREDDED BARK MULCH INTO ALL PLANTING BEDS TYPICAL.
- 43) EXISTING A/C CONDENSER UNITS TO REMAIN.
- 44) EXISTING CAMBRIDGE COBBLE PRECAST PAVER SIDE YARD TO BE MODIFIED. DEMO AND REINSTALL PAVERS TO FIT THIS SIZE AND DIMENSION OF PATIO FOR THE ALLOWANCE OF IMPROVEMENTS AND OTHER CHANGES. RECYCLE PAVERS TO SAVE MONEY. BID LABOR ONLY.
- 45) CONSTRUCT NEW CMU WALL WITH CUSTOM MOOD GATE PER DETAILS. CONSTRUCT NEW PAVER WALK WAY WITH RECYCLED PAVING BLOCK AND INTEGRATE WITH THE EXISTING PAVER FLATWORK IN THE FRONT YARD.
- 46) EXISTING GAS AND ELECTRICAL UTILITIES AND POINTS OF CONNECTION FOR ALL SERVICE TO THE POOL EQUIPMENT, FIRE PLACE BBQ AND NEW ELECTRICAL GFIS. ALL WORK TO BE PERFORMED PER CODE AND INSPECTED IN THE FIELD.
- 47) CONSTRUCT CMU FREESTANDING WALL AT 5 FT. 6 INCH FINISH HEIGHT ABOVE FINISH GRADE OF SIDEWALK LEADING TO MOOD GATE. APPLY STUCCO WITH COLOR AND FINISH TO MATCH HOME.



**STONE VENEER:**

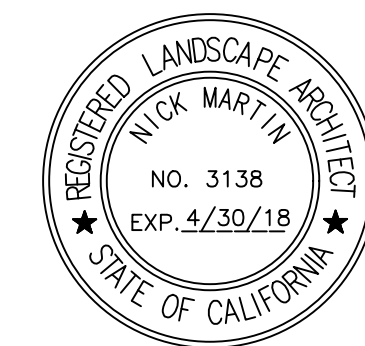
**OPTION A: MATCH EXISTING ELDERADO STONE VENEER TO HOME**

**OPTION B: PURPLE SAGE QUARRY STONE WITH CHISELED EDGE (AVAILABLE AT WESTERN PAVERS)**



**LANDSCAPE MASTER PLAN**

SCALE: 3/16" = 1'-0"



DRAWN	NM
DRAFTER	DM
DATE	08/23/2016
SCALE	3/16" = 1'-0"
JOB NAME	KRYS
SHEET	1



**NOTE TO CONTRACTOR**

THIS PLAN IS DIAGNOSTIC ONLY. THE INTENT IS TO PORTRAY LANDSCAPE INFORMATION ONLY. THESE PLANS DO NOT PROVIDE DETAILED SOLUTIONS TO ALL LANDSCAPE RELATED PROBLEMS.

MINOR ADJUSTMENTS IN LAYOUT OR FINISH ELEVATIONS MAY OCCUR DUE TO FIELD CONDITIONS OR AT THE DISCRETION OF THE OWNER. THE CONTRACTOR IS TO BEAR FULL RESPONSIBILITY FOR OBTAINING ALL PERMITS AND PLAN APPROVALS THROUGH THE PERTINENT BUILDING DEPARTMENTS PRIOR TO CONSTRUCTION.

REPORT ANY DISCREPANCIES OR QUESTIONS TO THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION OF WORK. LANDSCAPE ARCHITECT, P.L.A. 988, MAY BE REACHED AT (760) 588-1111.

**PRELIMINARY PLAN ONLY  
NOT FOR CONSTRUCTION**

**LANDSCAPE MASTER PLAN**

PROJECT NAME: \_\_\_\_\_

PHONE: \_\_\_\_\_

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