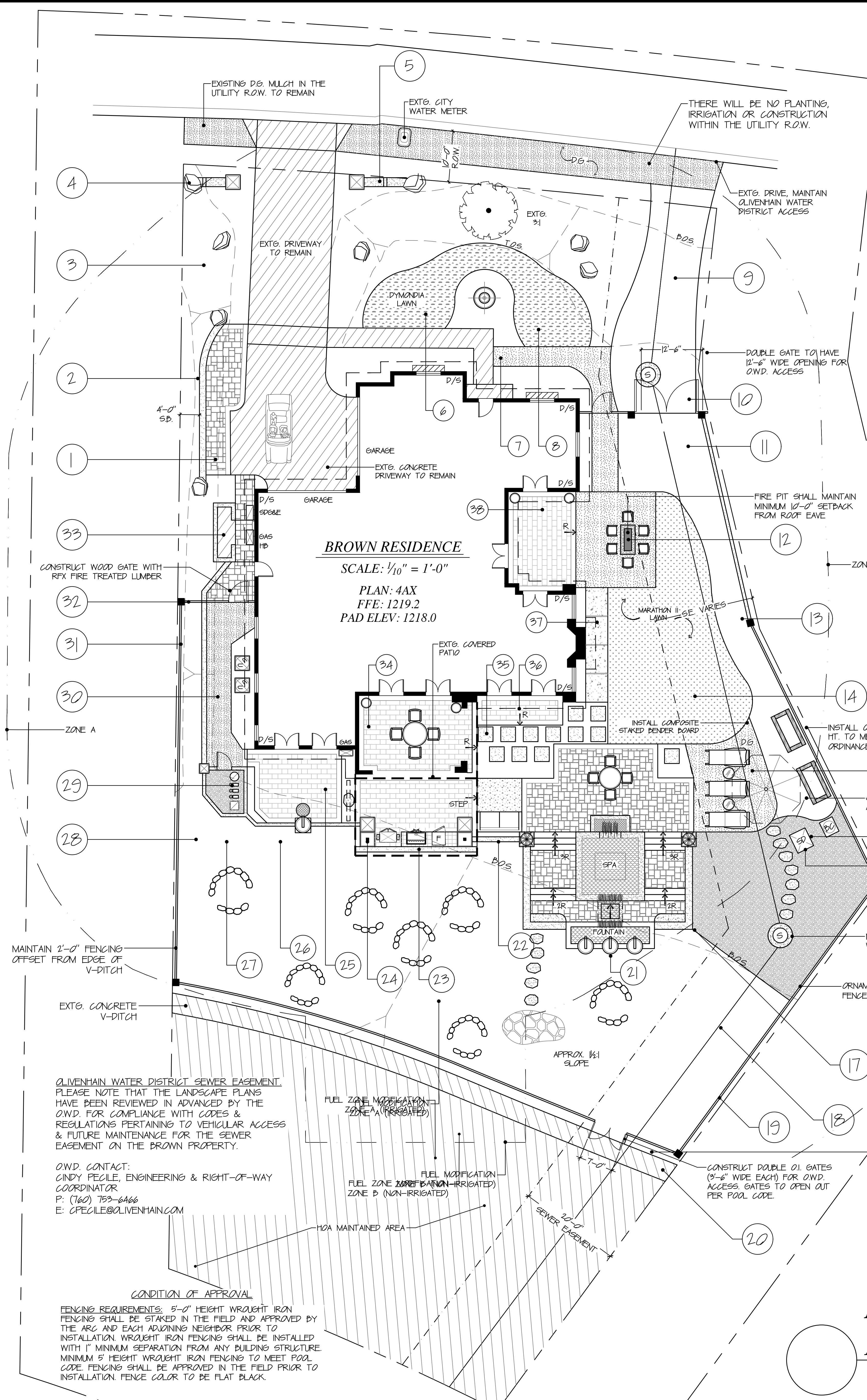
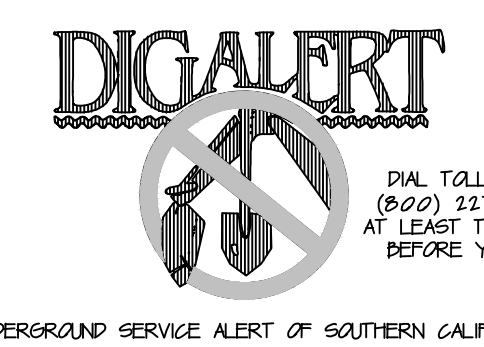


# LANDSCAPE MASTER PLAN NOTES

- 1) CONSTRUCT NEW EXPANDED DRIVEWAY SECTION WITH BELGARD CAMBRIDGE COBBLE PAVERS ON CA BASE. INCLUDE 3 INCH WIDE URBANA STONE PAVEMENT BORDERS. APPLY SEALER OVER POLYMERIC SAND FILLED JOINTS. COLOR TO BE MONTICITO.
- 2) NON-CODE CMU RETAINING WALL WITH ELDORADO STONE CHISELED CAP. THIS WALL WILL BE 2 FT. IN FINISH HEIGHT. NOTE LANDSCAPE BOLLERS SET INTO GRADE ON EACH END. COLOR AND FINISH OF STUCCO TO MATCH HOME.
- 3) PLANTING BEDS REFER TO PLANTING AND IRRIGATION PLANS. REMOVE ALL WEEDS AND DEBRIS PRIOR TO SOIL PREPARATION PHASE.
- 4) ENTRY MONUMENTS TO BE CONSTRUCTED WITH CMU AND APPLICATION OF ELDORADO STONE VENEER ARCHITECTURAL STONE ON STREET FACING SIDES OF EACH WALL. APPLY ADDRESS NUMBERS PER RANCHO SANTA FE FIRE DISTRICT REGULATIONS. NOTE LANDSCAPE BOLLERS ON EACH END OF CHASE WALLS. THESE TO BE BURIED APPROXIMATELY 1/3 DEPTH INTO FINISH GRADE OF SOIL. REFER TO DETAILS FOR THE ENTRY MONUMENTS IN SITE DETAILS SHEET.
- 5) ROW TO BE LIGHTLY PLANTED. SAVE BRISBANE BOX STREET TREE.
- 6) FRONT YARD TO BE LANDSCAPED. REFER TO PLANTING PLAN. SAVE EXISTING COLOR STAINED ENTRY WALK. OWNER TO PURCHASE URN FOUNTAIN WHICH WILL BE INSTALLED BY THE LANDSCAPE CONTRACTOR AND WIRED INTO AN AUTOMATIC REMOTE SWITCH INSIDE THE FRONT DOOR BY ELECTRICIAN.
- 7) DECOMPOSED GRANITE PATHWAY WITH TREX OR EQUAL COMPOSITE STAKED HEADERS. REFER TO DETAIL. ALL D/G. TO BE STABILIZED. BID DESERT BROWN AT MINIMUM 3 INCH DEPTH OVER WEED PROOF FABRIC LAYER.
- 8) LAWN SUBSTITUTE (DYMNDIA) TO BE IRRIGATED AND EDGED WITH A COMPOSITE HEADER.
- 9) OLIVENHAIN WATER DISTRICT ACCESS ROAD TO BE MAINTAINED FOR VEHICULAR SERVICE ACCESS. THERE WILL BE NO OBSTRUCTIONS. THIS DRIVEWAY CURRENTLY EXISTS AND WILL BE FINE GRADED AND PLANTED WITH LOW FLOWERING GROUNDCOVER SPECIES PER PLANTING PLAN.
- 10) TWO GATES TO BE INSTALLED. A FOR PEDESTRIAN ACCESS AND A DOUBLE GATE FOR VEHICULAR ACCESS. THESE WILL BE MINIMUM 5 FT. IN HEIGHT TO CONFORM TO THE SWIMMING POOL CODE. BOTH GATES WILL HAVE A KEY LOCK MECHANISM. THE SINGLE GATE WILL BE WOOD AND PAINTED TO MATCH THE TRIM OF THE HOME. THE DOUBLE GATE WILL INCLUDE AN ORNAMENTAL IRON FRAMEWORK WITH WOOD PANELING. POSTS TO BE TUBULAR STEEL SET INTO UNDISTURBED SOIL WITH FLAGPOLE FOOTINGS. MINIMUM OPENING FOR THE DOUBLE GATE TO BE 12 FT. 6 INCHES WHEN OPENED. ORNAMENTAL IRON FRAMEWORK TO BE PAINTED FLAT BLACK.
- 11) PLANTING BEDS WITH SHREDDED DARK MULCH LAYER AT MIN. 3 INCH DEPTH. THIS AREA WILL ALLOW FOR VEHICULAR ACCESS FOR OWD THROUGH MANUAL VEHICULAR GATE.
- 12) PORTABLE FIRE PIT HAS BEEN PURCHASED BY THE OWNER AND THIS FIRE PIT CAN BE MOVED AT WILL PENDING OLIVENHAIN WD ACCESS CONTINGENCIES. THE FIRE PIT WILL BE POSITIONED ON A D/G. SOFTEST PATIO WITH TREX OR EQUAL 2 X4 STAKED HEADERS OVER WEED PROOF FABRIC LAYER.
- 13) INSTALL NEW FENCE ALONG PROPERTY LINE APPROX. 1 FT. INSIDE PL. AND TOP OF SLOPE. THIS SECTION WILL BE A AN ORNAMENTAL IRON FENCE AT MINIMUM 5'-0" PER POOL CODE.
- 14) PLANT NEW MARATHON 2 SOD LAWN. PROVIDE SOIL PREPARATION. DEEP ROTOTILLING WITH AMENDMENTS. REFER TO PLANTING SPECIFICATIONS SHEET. FILL IN VOIDS AND LEVEL OUT THIS LAWN WITH AMENDED SOIL TO REMOVE CHANNEL. AREA DRAINS WILL BE REQUIRED. REFER TO DRAINAGE PLAN.
- 15) J & W RAISED GARDEN BOX KITS 4X 6 FT. IN LENGTH. FILL WITH AMENDED SOIL. INSTALL MICRO SPRAY IRRIGATION SYSTEM WIRED INTO CONTROLLER. NOTE THE D/G. PATIO NEXT TO THE SPA PATIO REFER TO NOTE 12.
- 16) "PICO-CLEAN DEVICE" WILL FILTER STORM RUNOFF. INSTALLED BY DEVELOPER. REFER TO CIVIL GRADING PLAN AND RECORD DOCUMENTS FOR THIS PROJECT. NOTE SEWER CLEANOUT MAN HOLE NEAR THIS DEVICE. PROTECT ALL UTILITIES IN PLACE.
- 17) ELEVATED SPA PATIO WITH WALLS, STEPS AND PATIOS. REFER TO ENLARGEMENT PLANS FOR ADDITIONAL INFORMATION FOR THIS FEATURE.
- 18) STORM SEWER EASEMENT CONTINUES. THIS SLOPE WILL BE PLANTED AND IRRIGATED PER PLANS.
- 19) FENCING CONTRACTOR TO INSTALL ORNAMENTAL IRON FENCE WHICH WILL CONTINUE 2 FT. BELOW THE EXISTING CONCRETE V-DITCH. THIS SCOPE OF WORK MAY REQUIRE A CHANGE OF EASEMENT AGREEMENT BETWEEN THE OWNER AND THE RANCHO CIELO ARC. THE OWNERS HAVE BEEN SO NOTIFIED.
- 20) EXISTING CONCRETE V-DITCH TO REMAIN.
- 21) CUSTOM MASONRY URN FOUNTAIN WITH BASIN. REFER TO ENLARGEMENT PLANS FOR ADDITIONAL DETAILS AND SPECIFICATIONS REGARDING THIS FEATURE. THIS FEATURE WILL BE CONSTRUCTED PER CODE BY A CSP CONTRACTOR.
- 22) LOW RETAINING WALL AT 2 FT. 6 INCH HEIGHT WITH STUCCO FINISH AND FRENCH DRAIN.
- 23) OUTDOOR KITCHEN WITH CODE RETAINING WALL. THIS WILL INCLUDE A PRECAST PAVER OR MIRAGE PORCELAIN TILE PATIO WITH AREA DRAIN. REFER TO OUTDOOR KITCHEN ENLARGEMENT PLANS FOR ADDITIONAL INFORMATION FOR PLAN REVIEW.
- 24) OPEN BEAM TIMBER PATIO COVER WITH SLIDING FABRIC PANELS ON CABLE SYSTEM BY SHADETREE, INC. LANDSCAPE CONTRACTOR TO BID ALL CONSTRUCTION. OWNERS TO SELECT FABRIC COLOR AND PATTERN. THIS IS MARINE GRADE SUNBRELLA FABRIC WHICH WILL BE SPECIAL ORDER FOR FIRE RESISTANCE. TWO POSTS WILL BE CONNECTED TO REINFORCED CMU MASONRY COLUMNS WITH DEEP CONCRETE FOOTING. THIS WILL BE STANDARD PERMIT STRUCTURE. THE PATIO COVER WILL LEDGER ATTACH TO THE LOGGIA WALL.
- 25) ELEVATED PORCELAIN TILE MATCHING PATIO WITH STEPS ON EACH SIDE. DEMO ALL EXISTING CONCRETE LANDINGS. REFER TO THIS PROJECT PRIOR TO NEW CONSTRUCTION. TILE AND OR PRECAST PAVERS WILL BE INSTALLED ONTO A CAP OVER COMPACTED SOIL BASE.
- 26) CONSTRUCT CMU RETAINING WALL WITH ELDORADO STONE VENEER AND MATCHING ELDORADO STONE CHISELED CAPS. THIS WILL BE A CODE RETAINING WALL OVER 3 FT. IN HEIGHT WITH A FRENCH DRAIN SYSTEM. TYPICAL PROVIDE WATERPROOFING TREATMENT BEHIND ALL RETAINING WALLS CONSTRUCTED INTO CUT SLOPES. NOTE : CONTRACTOR TO BID AN OPTION FOR AN URN FOUNTAIN WITH REMOTE SWITCH. THIS PRODUCT IS AVAILABLE THROUGH GRAND EFFECTS COMPANY. REFER TO CUT SHEET DETAILS FOR ADDITIONAL INFORMATION. CONTRACTOR TO PROVIDE ALL PLUMBING AND ELECTRICAL SERVICE PER CODE. THE UPPER URN WILL POUR INTO A LOWER URN AT FINISH GRADE. THE CMU COLUMN WILL INCLUDE ELECTRICAL AND PLUMBING CONDUIT SHEEPS.
- 27) RETAINING WALL CUTS INTO SLOPE. REFER TO DRAINAGE PLAN & ENLARGEMENT PLAN FOR ALL WALL AND COLUMNS HEIGHTS. POOL EQUIPMENT ENCLOSURE, CMU CODE RETAINING WALL.
- 28) POOL EQUIPMENT ENCLOSURE WITH RETAINING WALLS & GATE.
- 29) N/A
- 30) DECOMPOSED GRANITE PATHWAY WITH 18" CMU RETAINING WALL.
- 31) INSTALL ORNAMENTAL IRON FENCE INSIDE PROPERTY LINE. REFER TO NOTE 13. PAINT ALL ORNAMENTAL IRON FENCING FLAT BLACK (HOT DIP GALVANIZED) WITH MINIMUM 10 YEAR WARRANTY.
- 32) INSTALL ORNAMENTAL IRON GATE WITH FENCE RETURN UNDER A SEPARATE FENCING SUBCONTRACT.
- 33) EXISTING TRASH AND RECYCLING ENCLOSURE TO REMAIN.
- 34) CONSTRUCT NEW PORCELAIN TILE OR PRECAST PAVER PATIO UNDERNEATH THE EXISTING LOGGIA COVERED PATIO. DEMO ALL CONCRETE LANDINGS AND INCLUDE THIS IN THE BASE BID. WRAP THE PATIOS WITH A MATCHING 1/2 INCH BORDER. APPLY APPROVED MASONRY SEALER. THIS PATIO WILL BE CONSTRUCTED ON A CRUSHED AGGREGATE BASE.
- 35) COLORED CONCRETE CASTE IN PLACE STEP PADS WILL INCLUDE SAN DIEGO BUFF INTEGRAL COLOR AN ACID WASHED TOPCAST FINISH AND SEALER. THE JOINTS WILL BE PLANTED WITH IRRIGATED GROUNDCOVER.
- 36) CONSTRUCT NEW MATCHING LANDING REFER TO NOTE 34.
- 37) COLORED CONCRETE SIDEWALK WITH SAN DIEGO BUFF. THIS WILL MATCH THE SAME FINISH AS THE STEP PADS.
- 38) REFER TO NOTE 34 MATCHING PATIO. OWNERS TO APPROVE ALL PAVER AND PORCELAIN TILE SELECTIONS IN ADVANCE OF MATERIALS ORDER. CONTRACTOR TO SHOW SAMPLES UPON REQUEST.



**BROWN RESIDENCE**  
 SCALE: 1/10" = 1'-0"  
 PLAN: 4AX  
 FFE: 1219.2  
 PAD ELEV: 1218.0



**NOTE TO CONTRACTOR**  
 THIS PLAN IS DIAGRAMMATIC ONLY. THE INTENT IS TO PORTRAY LANDSCAPE INFORMATION ONLY. THESE PLANS DO NOT PROVIDE DETAILED SOLUTIONS TO ALL LANDSCAPE RELATED PROBLEMS.  
 THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNLESS THEY ARE REVIEWED BY THE LANDSCAPE ARCHITECT AND APPROVED BY THE OWNER AND DEAR THE LOCAL BUILDING AND PLANNING DEPARTMENT APPROVAL. STAMPS AND A BUILDING PERMIT HAS BEEN OBTAINED.  
 MAJOR ADJUSTMENTS IN LAYOUT OR FINISH ELEVATIONS MAY OCCUR DUE TO FIELD CONDITIONS OR AT THE DISCRETION OF THE OWNER. THE CONTRACTOR IS TO BEAR FULL RESPONSIBILITY FOR OBTAINING ALL PERMITS AND PLAN APPROVALS THROUGH THE PERTINENT AGENCIES PRIOR TO CONSTRUCTION.  
 REPORT ANY DISCREPANCIES OR QUESTIONS TO THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION OF WORK. LANDSCAPE ARCHITECT, P.L.A. 908. MAY BE REACHED AT: (760) 533-1717.

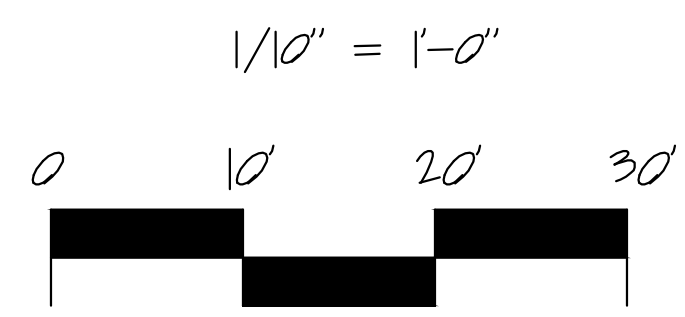
## GENERAL NOTES

1. BEFORE START OF ANY EXCAVATION OR TRENCHING IN LOCATION ON PROJECT SITE, CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES. CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF RIGHT-OF-WAY UTILITIES AT (800) 227-2600 AND PROPERTY OWNER FOR ON-SITE UTILITIES. A MINIMUM OF 48 WORKING HOURS PRIOR TO START OF ANY EXCAVATION. DO NOT COMMENCE ANY EXCAVATION UNTIL UTILITIES HAVE BEEN LOCATED.
2. CONTRACTOR TO VERIFY ALL PROPERTY LINES, EASEMENTS, AND SETBACKS IN THE FIELD PRIOR TO INSTALLATION OF WORK. IF THESE CONDITIONS EFFECT DESIGN LAYOUT, PLEASE CALL LANDSCAPE ARCHITECT, NICK MARTIN PRIOR TO THE START OF CONSTRUCTION AT (760) 533-1717.
3. COORDINATE LOCATION OF ALL UNDERGROUND UTILITIES AND STORM DRAINS WITH NEW TREE LOCATIONS AND MECHANICAL/ELECTRICAL FACILITIES. REFER TO LANDSCAPE, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFO.
4. PROTECT IN PLACE ALL EXISTING IMPROVEMENTS, STRUCTURES, AND UNDERGROUND UTILITIES TO REMAIN.
5. INSTALL ROOT BARRIERS TO ALL TREES WITHIN 5'-0" OF UTILITIES, HARDSCAPE, ETC.
6. THE MAXIMUM ALLOWABLE EXPOSED HEIGHT FOR WALLS IN RANCHO CIELO IS 6'-0". THERE ARE NO WALLS EXCEEDING 6'-0" IN HEIGHT ON THIS PROJECT.

## HARDSCAPE MATERIALS

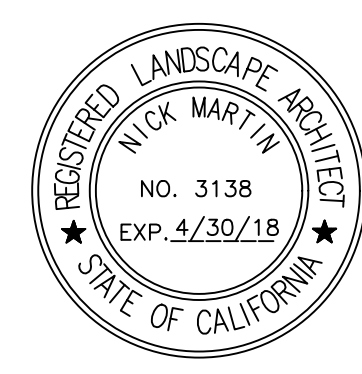
SYMBOL	DESCRIPTION
	BELGARD "CAMBRIDGE COBBLE" TOSCANA COLOR
	DECOMPOSED GRANITE 3" DEPTH. "DESERT GOLD" STABILIZED.
	BELGARD MIRAGE PORCELAIN TILE "SUNDECK" SPIRIT
	COLORLED CONCRETE WITH DAVIS "SAN DIEGO BUFF" ACID WASHED FINISH
	BELGARD "LAFITT GRANA SLAB" VICTORIAN COLOR PRECAST FAVERS

- NOTES:**
- EXPOSED HEIGHT OF FINISHED WALLS MUST NOT EXCEED 6'-0"
  - ALL WORK SHALL BE IN ACCORDANCE WITH THE COUNTY OF SAN DIEGO GRADING ORDINANCE CONSTRUCTION & POST CONSTRUCTION BMP'S ARE THE RESPONSIBILITY OF THE OWNER.
  - WALL FOOTINGS SHALL BE A MINIMUM OF 18" BELOW GRADE WHEN ADJACENT TO PLANTERS



# LANDSCAPE MASTER PLAN

SCALE: 1/10" = 1'-0"  
 APN: 646-701-60-00



LANDSCAPE MASTER PLAN

PROJECT NAME:  
PHONE:

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 Landscape Architect, Inc.  
 3173 Willow Tree Lane  
 Escondido, CA 92027  
 Call: (760) 533-1717  
 E-mail: nick@nickscandscape.com



DRAWN	NM
CHECKED	DR
DATE	01/29/2018
SCALE	1/10" = 1'-0"
JOB NAME	BROWN
SHEET	18

NOTES: ALL INFORMATION IDEAS AND DETAILS INDICATED ON THIS SHEET IS THE PROPERTY OF NICK MARTIN LANDSCAPE ARCHITECT. ANY ATTEMPT TO REPRODUCE OR USE THIS INFORMATION WITHOUT THE EXPRESS PERMISSION OF NICK MARTIN IS PROHIBITED.