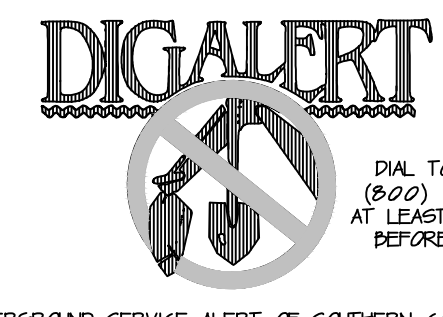
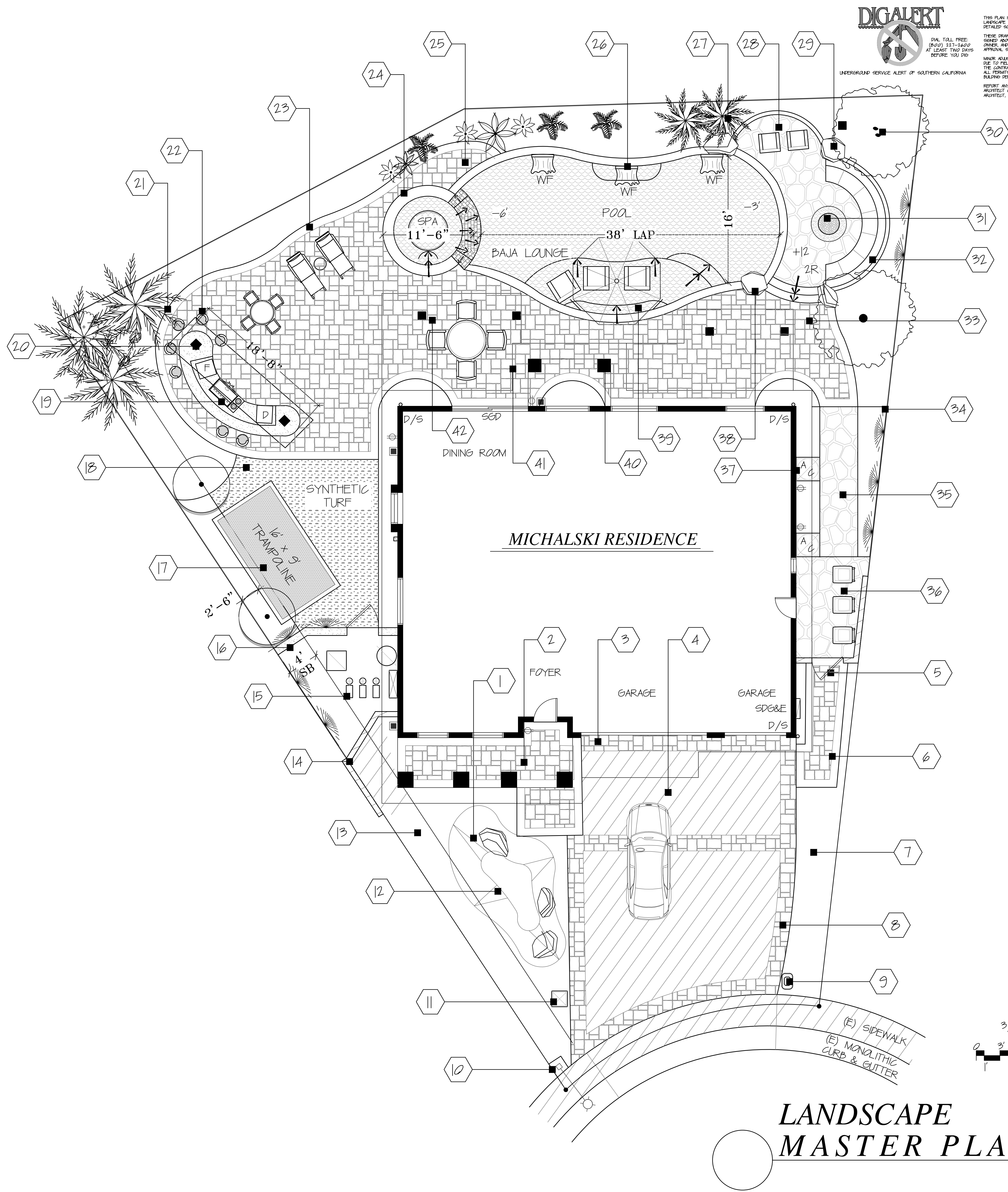


LANDSCAPE MASTER PLAN NOTES

- 1) REMOVE EXISTING VEGETATION AND TURF. REPLACE WITH NEW XERISCAPING TO INCLUDE SOIL MOUNDING AND BOLLERS. REFER TO PLANTING AND IRRIGATION / LIGHTING PLANS FOR MORE INFORMATION. THE EXISTING MATURE OLIVE TREE SHALL ALSO BE REMOVED. LANDSCAPE CONTRACTOR TO OBSERVE THIS TREE AND DETERMINE WHETHER THE OLIVE TREE CAN BE TRANPLANTED INTO THE BACKYARD. THE OWNER UNDERSTANDS THAT THERE IS NO GUARANTEE OF THIS TREE SURVIVING THE TRANPLANTING PROCEDURE, BUT AN ESTIMATE SHOULD BE PROVIDED WITH AN UNDERSTANDING THAT THE SURVIVAL OF THIS TREE CANNOT BE GUARANTEED.
- 2) DEMO EXISTING CONCRETE ENTRY WALK AND REPLACE WITH NEW BELGARD PRECAST CONCRETE PAVEMENT FROM THE DRIVEWAY TO THE FRONT DOOR WITH NO STEP REQUIRED.
- 3) TYPICAL 2 FT. WIDE PRECAST PAVEMENT INLAIS TO BE INSTALLED INTO THE CONCRETE DRIVEWAY WITH SAW CUTS AND DEMOLITION INCLUDED PAVERS TO MATCH THE ENTRY WALK. REFER TO THE MATERIALS LEGEND FOR THE IDENTIFICATION OF ALL HARDSCAPE MATERIALS FOR THIS PROJECT.
- 4) EXISTING CONCRETE DRIVEWAY TO BE SAVED - PROTECT DURING CONSTRUCTION.
- 5) REMOVE EXISTING GATE AND REPLACE WITH NEW FENCE RETURN AND WOOD GATE PER DETAILS. THIS GATE WILL MEET THE POOL BARRIER CODE ORDINANCE AND WILL INCLUDE A SPRING LATCH AND A SELF LOCKING MECHANISM.
- 6) DEMO EXISTING CONCRETE WALK AND REPLACE WITH A NEW BELGARD MATCHING PAVEMENT SIDEWALK.
- 7) REMOVE EXISTING VEGETATION AND THE MAGNOLIA TREE IN THIS SIDE YARD STRIP. REPLACE WITH NEW LIGHTING, PLANTING AND IRRIGATION PER PLANS. VERIFY LOCATION OF PROPERTY LINE CAREFULLY IN THE FIELD.
- 8) ADD A NEW 2 FT. WIDE PRECAST PAVEMENT BORDER ON BOTH SIDES OF THE EXISTING DRIVEWAY.
- 9) PROTECT ALL UTILITIES IN PLACE.
- 10) EXISTING STREET LIGHT.
- 11) CONSTRUCT NEW 3 FT. HEIGHT X 2X2 WIDE CMU COLUMN WITH PVC CONDUIT SWEEPS. APPLY STUCCO WITH COLOR AND FINISH TO MATCH HOME. GAP TO BE BELGARD PRECAST PAVERS MITER CUT TO FIT WITH 1/2 INCH CANTILEVER ON ALL SIDES.
- 12) TYPICAL SOIL MOUNDING WITH WEED PROOF FABRIC LAYER UNDER ALL BED MULCH. APPLY SHEPHERD DARK MULCH AT 9 INCHES DEPTH MINIMUM.
- 13) REMOVE EXISTING HEDGE.
- 14) EXISTING CMU WALL TO REMAIN.
- 15) POOL AND SPA EQUIPMENT PACKAGE TO BE INSTALLED PER CODE. MAINTAIN A 4 FT. SETBACK FROM PL.
- 16) CONSTRUCT NEW 5 FT. HEIGHT CMU WALL WITH WOOD GATE FOR MAINTENANCE ACCESS TO POOL EQUIPMENT.
- 17) OWNER TO PROVIDE TRANSLINE SYNTHETIC TURF WILL CONTINUE UNDER THIS TRANSLINE.
- 18) INSTALL SYNTHETIC TURF LAWN AREA WITH STAPLED 2 X4 INCH COMPOSITE HEADER. INSTALL SYN TURF PER INDUSTRY STANDARDS.
- 19) CONSTRUCT CUSTOM MASONRY BBQ ISLAND WITH ALUMINA WOOD ARBOR. REFER TO ENLARGEMENT PLANS AND DETAILS FOR ADDITIONAL INFORMATION. CONNECT ALL GAS AND ELECTRICAL PER CODE.
- 20) TYPICAL POST LOCATIONS FOR THE ARBOR WILL EXTEND INTO UNDERGROUND CONCRETE FOOTINGS.
- 21) TYPICAL PRECAST PAVEMENT BORDERS FOR THE NEW PATIOS. SAVE EXISTING PALM TREES REFER TO PLANTING PLAN FOR ALL INFORMATION PERTAINING TO EXISTING PLANT MATERIALS TO BE REMOVED, TRANPLANTED OR SAVED IN PLACE.
- 22) ALL FURNITURE TO BE PROVIDED BY THE OWNER.
- 23) DEMO EXISTING CONCRETE PATIOS IN THE BACKYARD AND INSTALL NEW BELGARD PRECAST CONCRETE PAVEMENT PATIOS ON CAB PER MANUFACTURER'S SPECIFICATIONS. APPLY POLYMERIC SAND FILLED JOINTS WITH STABILIZER AND TECHNISER APPLICATION.
- 24) 18 INCH HEIGHT ELEVATED SPA WITH QUARTZITE LEDGER STONE WATERFALL. EXTERIOR OF THE SPA TO INCLUDE MOSAIC TILE VENEER. THE OWNERS SHALL APPROVE TYPE OF TILE FOR BOTH THE SPA AND THE SPA.
- 25) 12 INCH HEIGHT RAISED BAND BEAM WITH 3 SHEER DESCENT WATERFALLS. THIS END SECTION WILL ACT AS A LOW LAMPING LEDGE INTO THE POOL.
- 26) CENTRAL SHEER DESCENT AT 2 FT. 6 INCHES WIDE WITH TWO SMALLER 18 INCH WIDE SHEER DESCENTS ON EACH END.
- 27) TYPICAL BOLLERS INTEGRATED INTO THE BAND BEAM PER PLAN. THESE ARE NOT PALK ROCKS!
- 28) CONSTRUCT A SMALL LOUNGE PATIO WITH RAISED COLORED CONCRETE CURBING AT 12 INCHES HEIGHT AND THE CURBING TO BE 4 INCHES IN HEIGHT ABOVE THE FINISH GRADE OF THE ADJACENT PATIO.
- 29) TYPICAL NATURAL BOLLERS SET 1/3 DEPTH INTO SOIL.
- 30) SAVE EXISTING OLIVE TREE IN THE CORNER OF PROPERTY.
- 31) CUSTOM MASONRY FIRE PIT WITH GAS LINE CONNECTION AND SHUT OFF VALVE. ALL INSTALLED PER CODE. INCLUDE TUMBLER LAVA ROCK INSIDE FIRE PIT.
- 32) OWNER TO PURCHASE A CURVING SOFA WHICH WILL BE SELECTED LATER. THE DIMENSIONS OF THE SEATLON SOFA MAY VARY, AND THIS PRODUCT NEEDS TO BE IDENTIFIED IN ADVANCE IN ORDER TO DETERMINE THE EXACT RADIUS DIMENSION OF THE RAISED PATIO ARC.
- 33) PRECAST PAVEMENT PATIO DEMO EXISTING CONCRETE PATIOS.
- 34) TRANSITION TO A MEGA ARBEL BELGARD PAVEMENT PATIO.
- 35) NEW PAVEMENT SIDEWALK EXTENDS INTO THE SIDE YARD.
- 36) CONSTRUCT UTILITY PAD WITH MATCHING PAVERS AND AREA DRAIN.
- 37) HVAC UNIT WILL INCLUDE NEW WOOD SCREEN PER DETAILS.
- 38) TYPICAL BOLLERS POOL COPING TO BE COLORED CANTILEVERED BULLNOSE WITH ACID WASHED FINISH.
- 39) BAJA LOUNGER WITH STEPS INTO POOL. PROVIDE ACCENT TILES FOR EACH STEP RISER FOR VISIBILITY. INCLUDE UMBRELLA SLEEVES.
- 40) EXISTING CMU COLUMNS FOR BALCONY DECK TO REMAIN. DO NOT DISTURB FOOTINGS AND COLUMNS DURING CONSTRUCTION.
- 41) EXISTING PATIO COVER TO REMAIN. THIS COVER WILL BE MODIFIED. CONTRACTOR TO INSPECT THE PROPERTY AND EXAMINE THIS PATIO COVER TO PROVIDE AN ESTIMATE FOR THE REMOVAL WORK REQUIRED TO ALLOW FOR THE OPEN BEAM PATIO COVER TO BE CUT BACK PER PLANS. INSTALL NEW POST AT THIS LOCATION REFRAME AND REWORK THIS PATIO COVER. ADD LED 12 V LIGHTING FIXTURES PER LIGHTING PLAN. PROVIDE ESTIMATE TO REPAINT ALL PATIO COVERS AND BALCONY AFTER CONSTRUCTION PHASE.
- 42)



NOTE TO CONTRACTOR
 THIS PLAN IS DIAGRAMMATIC ONLY. THE INTENT IS TO PORTRAY LANDSCAPE INFORMATION ONLY. THESE PLANS DO NOT PROVIDE DETAILED SOLUTIONS TO ALL LANDSCAPE RELATED PROBLEMS. THESE DRAWINGS ARE NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT, AND APPROVED BY THE OWNER, AND BEAR THE LOCAL BUILDING AND PLANNING DEPARTMENT APPROVAL. SEALS AND PLAN APPROVALS THROUGH THE PERTINENT BUILDING DEPARTMENTS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES OR QUESTIONS TO THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO INSTALLATION OF WORK. LANDSCAPE ARCHITECT: NICK MARTIN MAY BE REACHED AT (760) 533-1717.

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

LANDSCAPE MASTER PLAN

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DRAWN	NM
DRAFTER	AP
DATE	12/27/2018
SCALE	3/16" = 1'-0"
JOB NAME	MICHALSKI
SHEET	



LANDSCAPE MASTER PLAN

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